

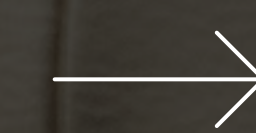
# two Gresham

OCCUPIER PACK



# JOIN THE **NEW** ESTABLISHMENT

Works at Two Gresham are now complete with 180,000 sq ft of repositioned Grade A offices designed by Buckley Gray Yeoman, including club-style amenities to meet the demands of the most discerning occupier and crowned with a spectacular rooftop terrace, Two Gresham offers the best seat in the house.



THE BUILDING



THE AREA



MAPS



CONNECTIONS

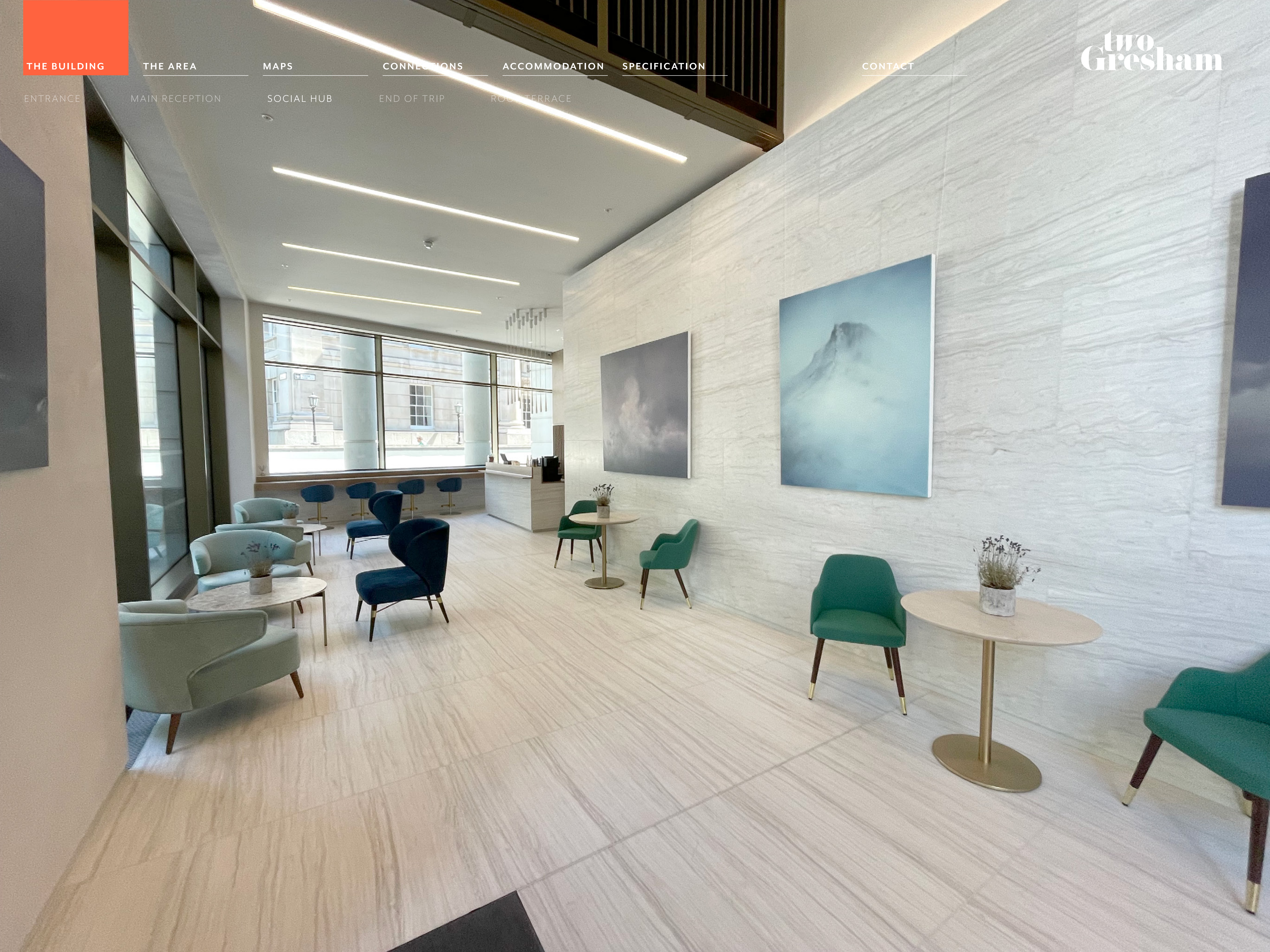


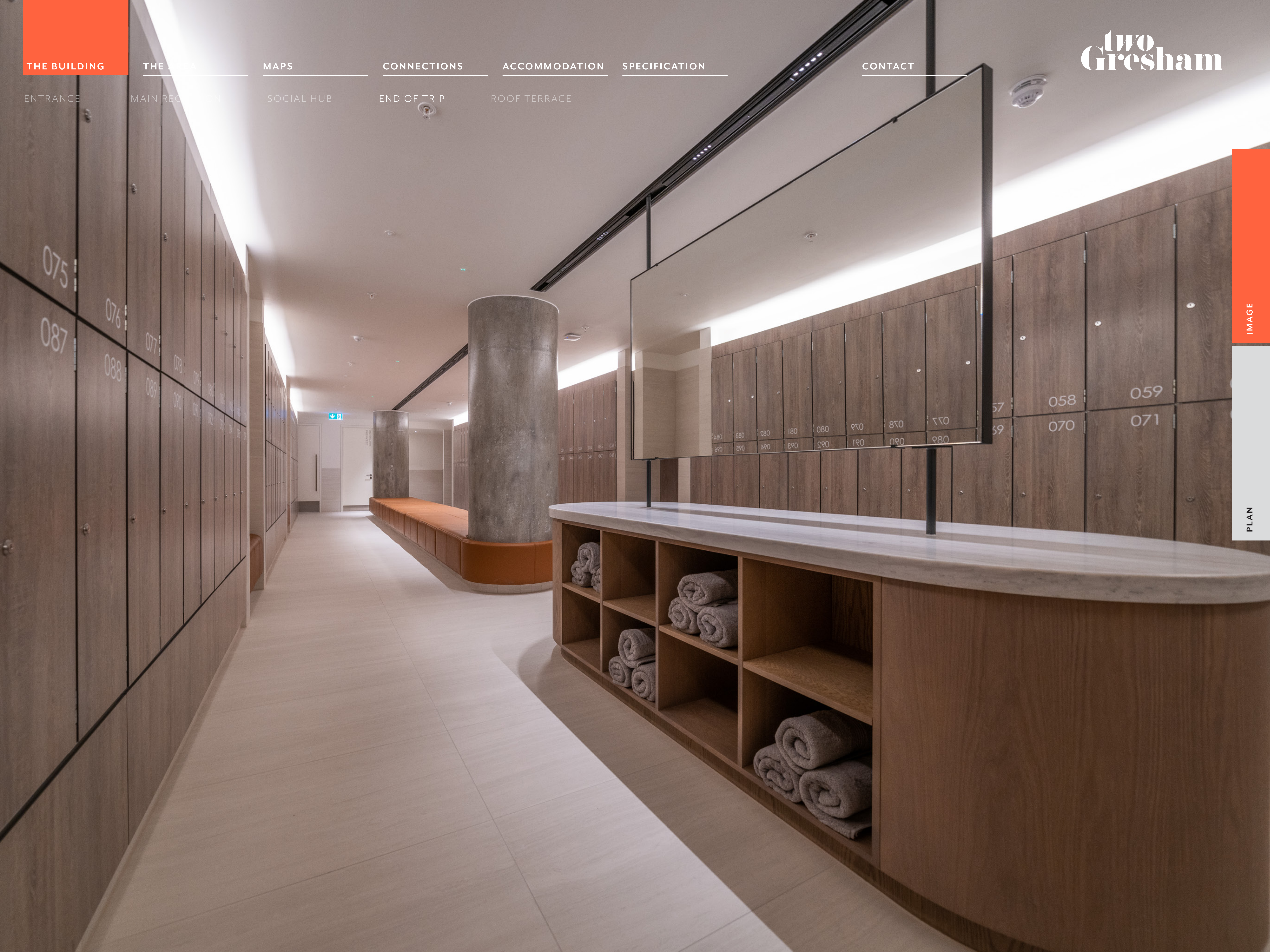
ACCOMMODATION

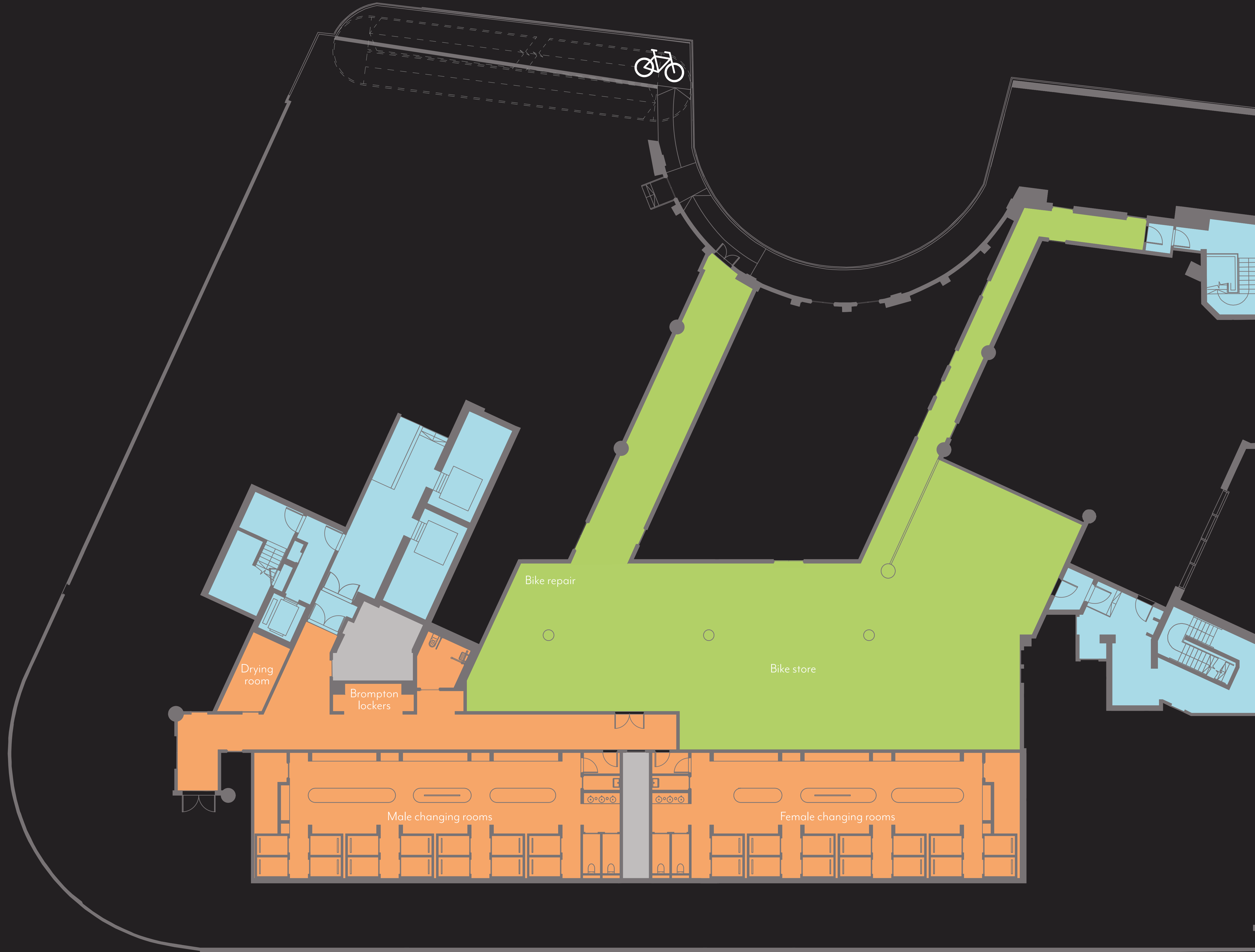












## End of Trip

A new 1.8m wide cycle ramp has been installed to provide easy access to the club style facilities, positioned away from Gresham Street on Foster Lane. There is a dedicated lift from basement level servicing all floors.

The facilities are extensive and enviable, with space for up to 280 cycle racks & lockers, 28 showers (14 male and 14 female), changing facilities, vanity areas, three drying areas and four WC's.

24,165 SQ FT  
2,245 SQ M

- Stairwells / Lifts
- WCs / Changing Facilities
- Bike Storage
- Private area



# UNRIVALED VIEWS

Experience London's most prominent landmark from Two Gresham's new communal roof terrace.



IMAGE

PLAN

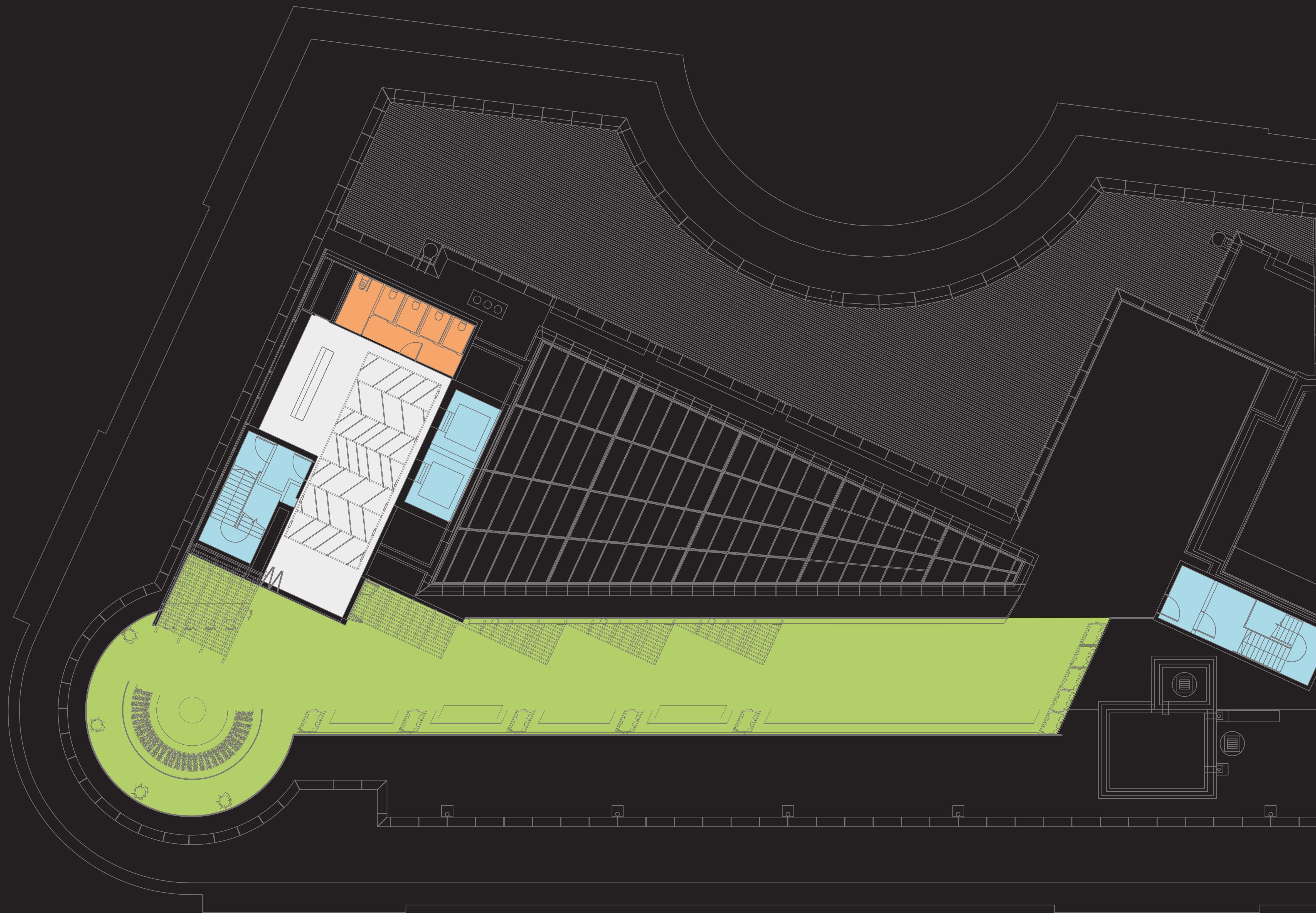
## Roof Terrace

The building benefits from a best-in-class communal landscaped roof terrace & gardens, with exceptional panoramic views overlooking some of the London's most famous landmarks.

A new full height glazed pavilion enclosure will provide F&B and a collaborative environment throughout the day, all year round.

8,299 SQ FT  
771 SQ M

- Stairwells / Lifts
- WCs
- Terrace
- Event Space



# WHERE THE CITY SAVVY WORK & PLAY.

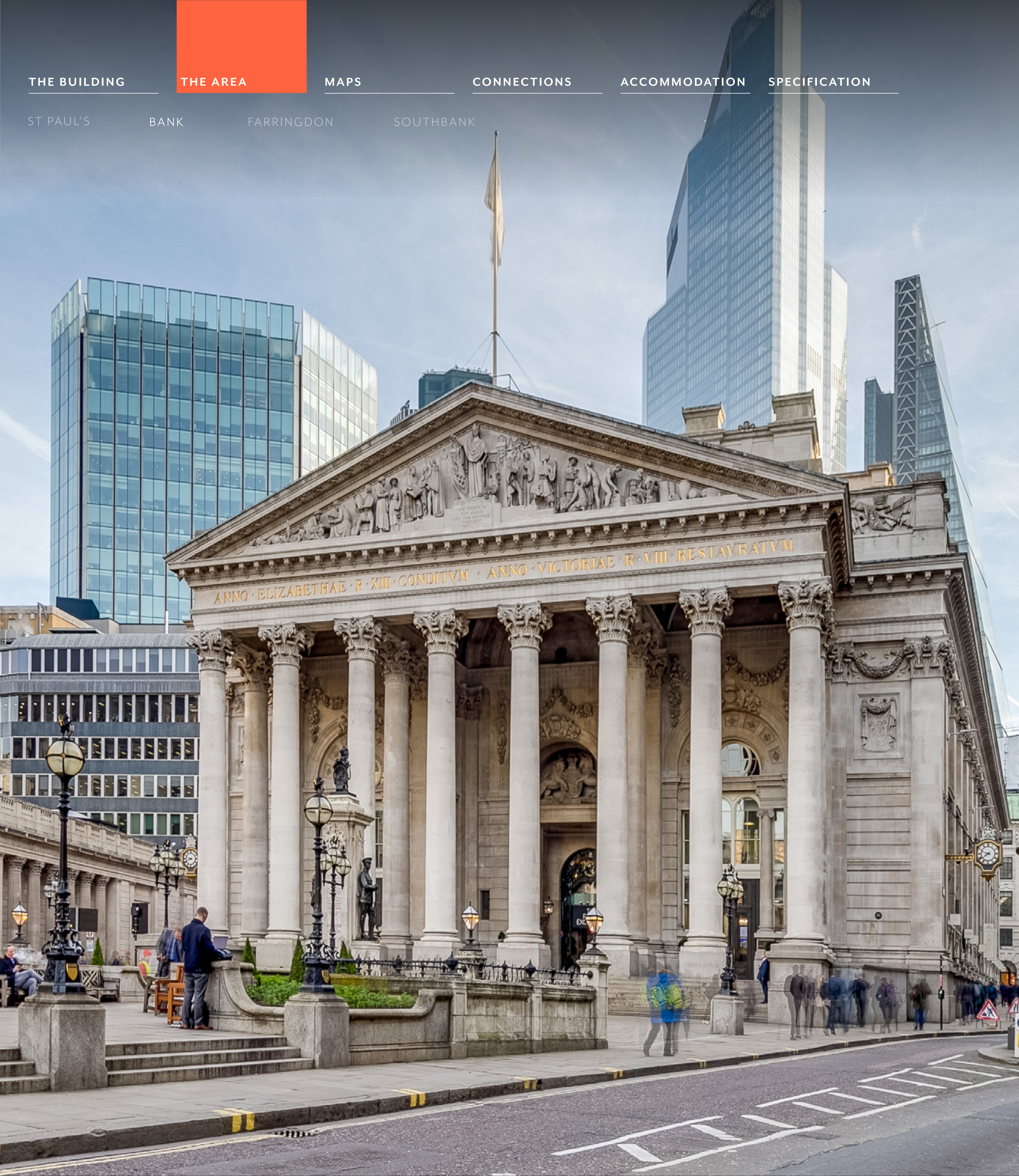
The iconic location of Gresham Street benefits from nearby slick City eateries, the never ending buzz of Bank and is on the cusp of creative Farringdon.



ST PAUL'S

From rooftop bars to enviable shopping venues, fine dining to architectural beauties, there is so much to uncover.





**BANK**

The City is evolving, with the influx of London's best F&B operators and the migration of tech firms. This once corporate area has transformed into a buzzy all-hours destination.



FARRINGDON

After work drinks have never looked more appealing in this vibrant community – take a stroll down to Smithfield Market for local produce to come across the very best that Farringdon has to offer.



**SOUTHBANK**

Just a short walk over the Millennium Bridge and find yourself immersed in a rich variety of cultural pleasures.



IMPRESS A CLIENT



LUNCHTIME BITES



AFTER HOURS



CAFFEINE HIT



LEISURE





IMPRESS A CLIENT

- 1 Paternoster Chop House
- 2 Manicomio Gutter Lane
- 3 HAZ St Paul's
- 4 The Ned
- 5 M Restaurant
- 6 Bread Street Kitchen
- 7 Bird of Smithfield
- 8 Hix Oyster & Chop House
- 9 Hawksmoor Guildhall
- 10 Le Bar – French Tapas from South of France
- 11 Polpo
- 12 St. John
- 13 Gaucho
- 14 Coq d'Argent
- 15 LINO
- 16 The Ivy Asia
- 17 Enoteca da Luca (St Paul's)
- 18 Fortnum & Mason
- 19 Coya
- 20 Temper
- 21 Brigadiers
- 22 Kym's
- 23 Sweeting's
- 24 Goodman

IMPRESS A CLIENT

LUNCHTIME BITES

AFTER HOURS

CAFFEINE HIT

LEISURE



LUNCHTIME BITES

- 1 City Càphê
- 2 The Anthologist
- 3 Caravan City
- 4 The Fable
- 5 Natural Kitchen
- 6 Burger & Lobster Bread Street
- 7 Apulia
- 8 Osteria London
- 9 Barbican Kitchen
- 10 Bleecker Burger
- 11 Homeslice
- 12 Vinoteca
- 13 Manicomio
- 14 Rucoletta
- 15 Haz
- 16 Piccolo Bar
- 17 The Happenstance
- 18 Lord Raglan

IMPRESS A CLIENT

LUNCHTIME BITES

AFTER HOURS

CAFFEINE HIT

LEISURE



## AFTER HOURS

- 1 The Saint
- 2 Dion bar & restaurant – St. Paul's
- 3 Ask For Janice
- 4 Madison
- 5 The Anthologist
- 6 Forge
- 7 Vinoteca City
- 8 Patch St Paul's
- 9 Oriole Bar
- 10 The Trading House
- 11 Draft House Farringdon
- 12 Fox and Anchor
- 13 The Bottlescruce
- 14 St Bart's Brewery
- 15 Harry's Bar
- 16 Coq d'Argent

IMPRESS A CLIENT

LUNCHTIME BITES

AFTER HOURS

CAFFEINE HIT

LEISURE



CAFFEINE HIT

- 1 Caffé Nero
- 2 Pret A Manger
- 3 PAUL St Paul's
- 4 Coco di Mama – Italian to Go – St Paul's
- 5 Taylor St Baristas – St Paul's
- 6 Starbucks Coffee
- 7 Artigiano Espresso and Wine Bar
- 8 Pret A Manger Cheapside
- 9 Half Cup
- 10 Stem + Glory London
- 11 Piccolo Bar
- 12 Pret A Manger
- 13 Giddy Up Coffee @ GIANT
- 14 Black Sheep Coffee
- 15 Soho Coffee Company
- 16 Beas of Bloomsbury
- 17 Nespresso Café
- 18 Grind, Royal Exchange

IMPRESS A CLIENT

LUNCHTIME BITES

AFTER HOURS

CAFFEINE HIT

LEISURE



LEISURE

- 1 The Royal Exchange
- 2 One New Change
- 3 The Ned
- 4 DW Fitness First London St Paul's
- 5 PureGym London St Paul's
- 6 WIT
- 7 Gymbox Bank
- 8 Gymbox Cannon Street
- 9 Virgin Active
- 10 Virgin Active Queen Victoria Street
- 11 The Apex Wall Hotel
- 12 Guildhall Art Gallery
- 13 Vintry and Mercer Hotel
- 14 Leonardo Royal London Hotel
- 15 Malmasion Hotel
- 16 Bankside Gallery
- 17 Tate Modern
- 18 South Place Hotel
- 19 The Grange, St Paul's
- 20 KOBOX
- 21 Equinox Royal Exchange
- 22 Museum of London
- 23 London Symphony Orchestra
- 24 Virgin Active
- 25 Barry's Boot Camp

IMPRESS A CLIENT

LUNCHTIME BITES

AFTER HOURS

CAFFEINE HIT

LEISURE



FINANCIAL

- 1 Investec Asset Management
- 2 Stifel
- 3 Goldman Sachs
- 4 Bank of America Merrill Lynch
- 5 TP ICAP
- 6 Sumitomo Mitsui Banking Corporation Europe
- 7 Monzo
- 8 ICBC Standard Bank
- 9 ING
- 10 Rathbones
- 11 Blackrock
- 12 Smith and Williamson
- 13 AXA
- 14 Lloyds Bank
- 15 Standard Chartered
- 16 Schroders
- 17 Bloomberg
- 18 Rothschild
- 19 Jane Street Capital
- 20 Brewin Dolphin
- 21 Quilter
- 22 Numis
- 23 GAM

FINANCIAL

LEGAL

OTHER PROFESSIONAL

TMT



LEGAL

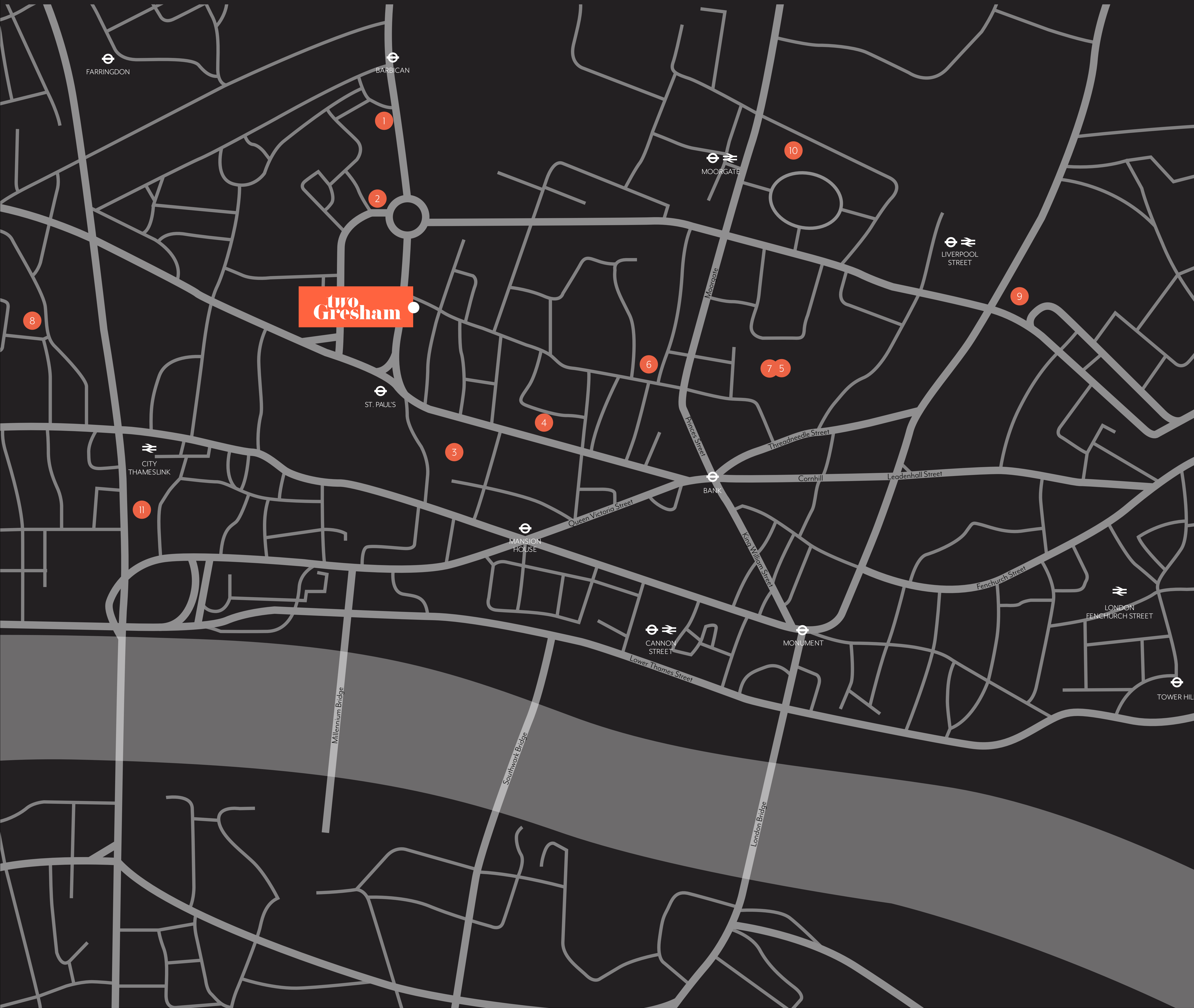
- 1 Sidley Austin
- 2 Latham Watkins
- 3 White and Case
- 4 Freshfields
- 5 Hogan Lovells
- 6 DLA Piper
- 7 Linklaters
- 8 Milbank Tweed
- 9 Davis Polk
- 10 Withers
- 11 Debevoise & Plimpton
- 12 Cleary Gottlieb
- 13 Kirkland & Ellis
- 14 CMS
- 15 Eversheds
- 16 Covington and Burling
- 17 Cooley

FINANCIAL

LEGAL

OTHER PROFESSIONAL

TMT



OTHER PROFESSIONAL

- 1 BDO
- 2 FTI Consulting
- 3 Chicago Mercantile Exchange
- 4 Hays Recruitment
- 5 Navigant Consulting
- 6 NHS Property Services
- 7 BUPA
- 8 Deloitte
- 9 Grant Thornton
- 10 CRA international
- 11 Baker Tilly International

FINANCIAL

LEGAL

OTHER PROFESSIONAL

TMT





TMT

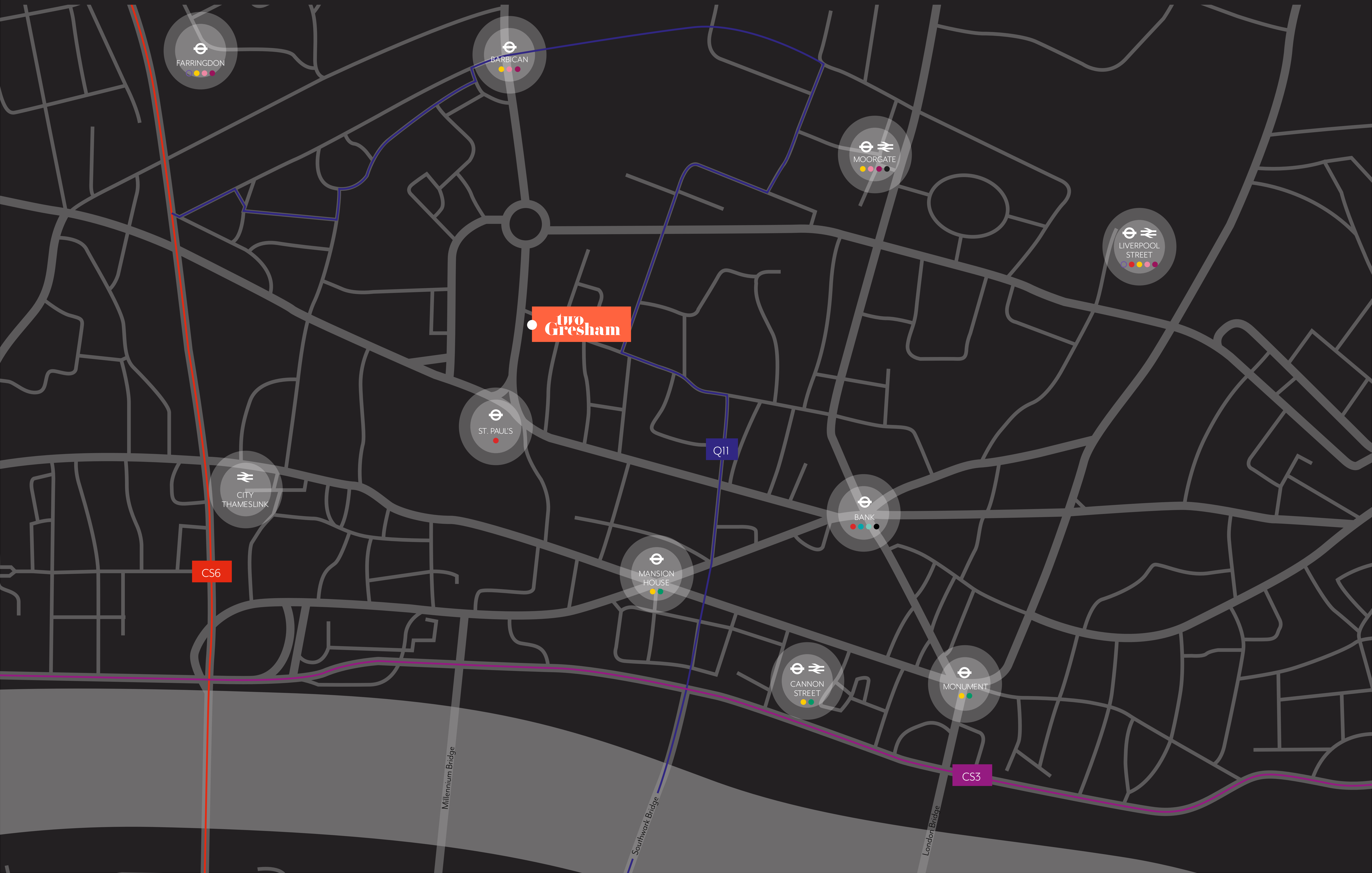
- 1 R3
- 2 ADM
- 3 Trade Desk
- 4 Product Madness
- 5 IPG Mediabrands
- 6 IPG McCann
- 7 Amazon
- 8 Bulb
- 9 Adidas
- 10 IDEO
- 11 Moonpig
- 12 Turner
- 13 LiveNation
- 14 Salesforce
- 15 Mimecast

FINANCIAL

LEGAL

OTHER PROFESSIONAL

TMT



FARRINGDON

BARBICAN

MOORGATE

LIVERPOOL STREET

Two  
Gresham

ST. PAUL'S

CITY THAMESLINK

CS6

MANSION HOUSE

Q11

BANK

CANNON STREET

MONUMENT

CS3

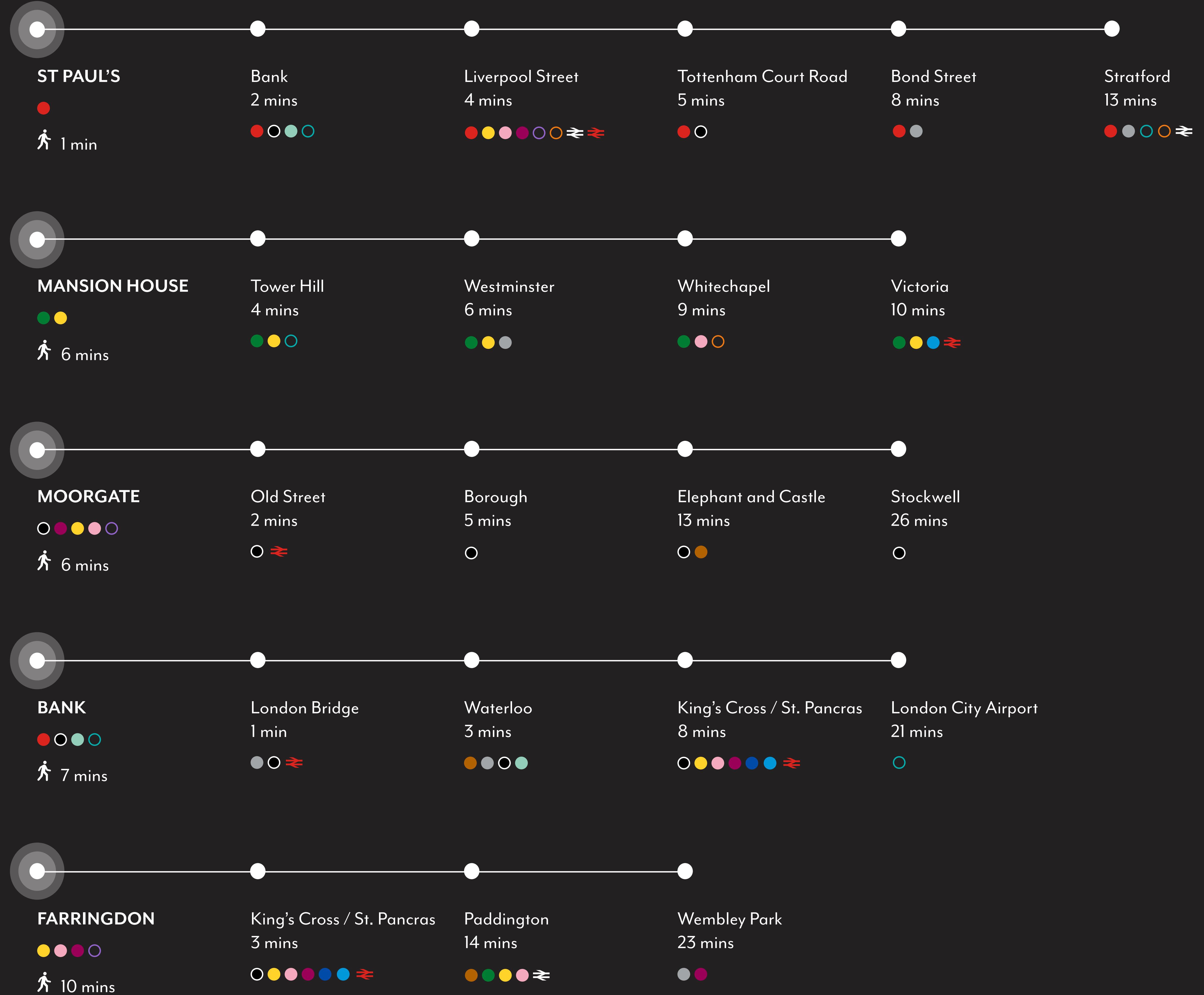
Millennium Bridge

Southwork Bridge

London Bridge

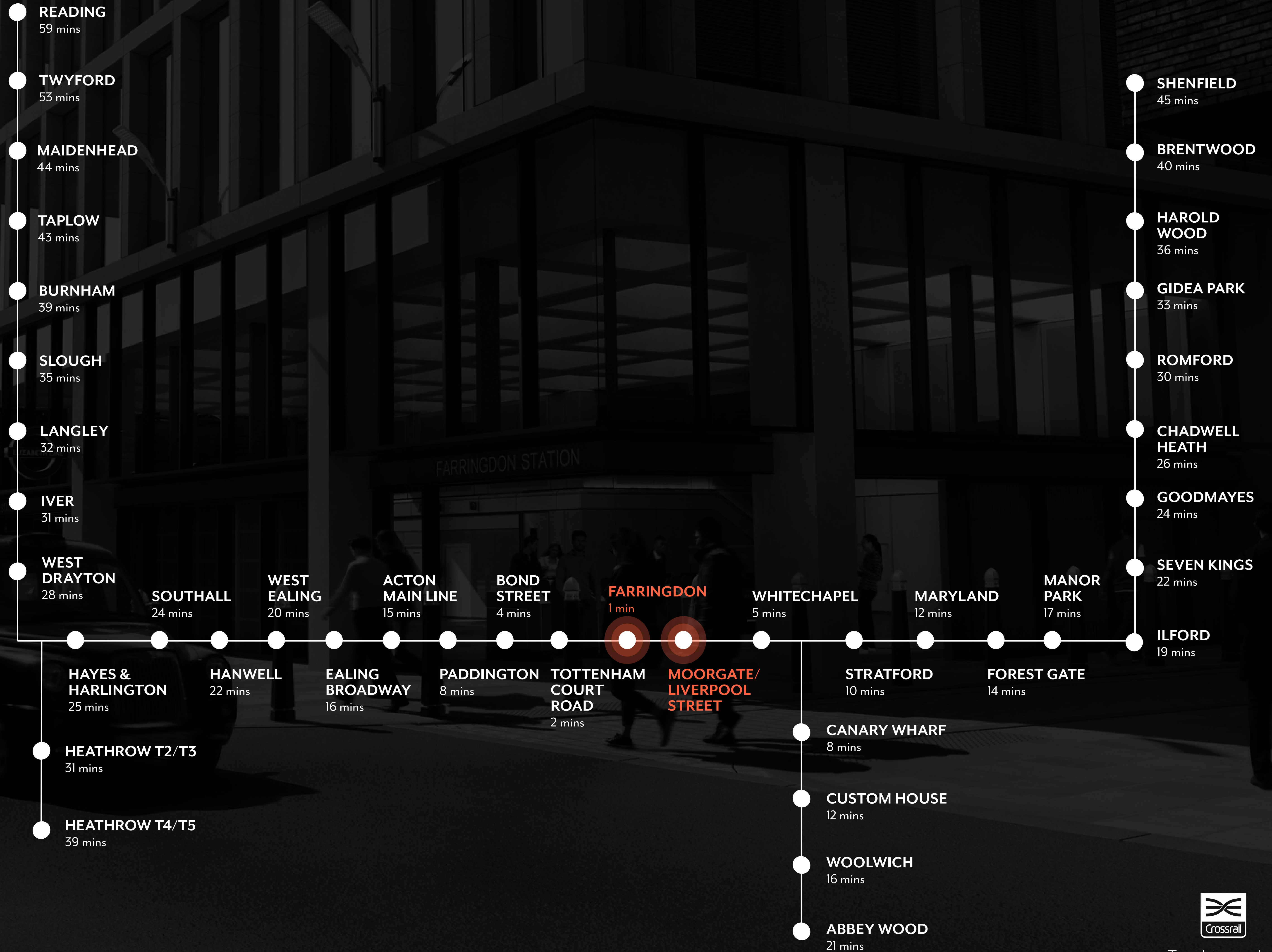
## UNDERGROUND

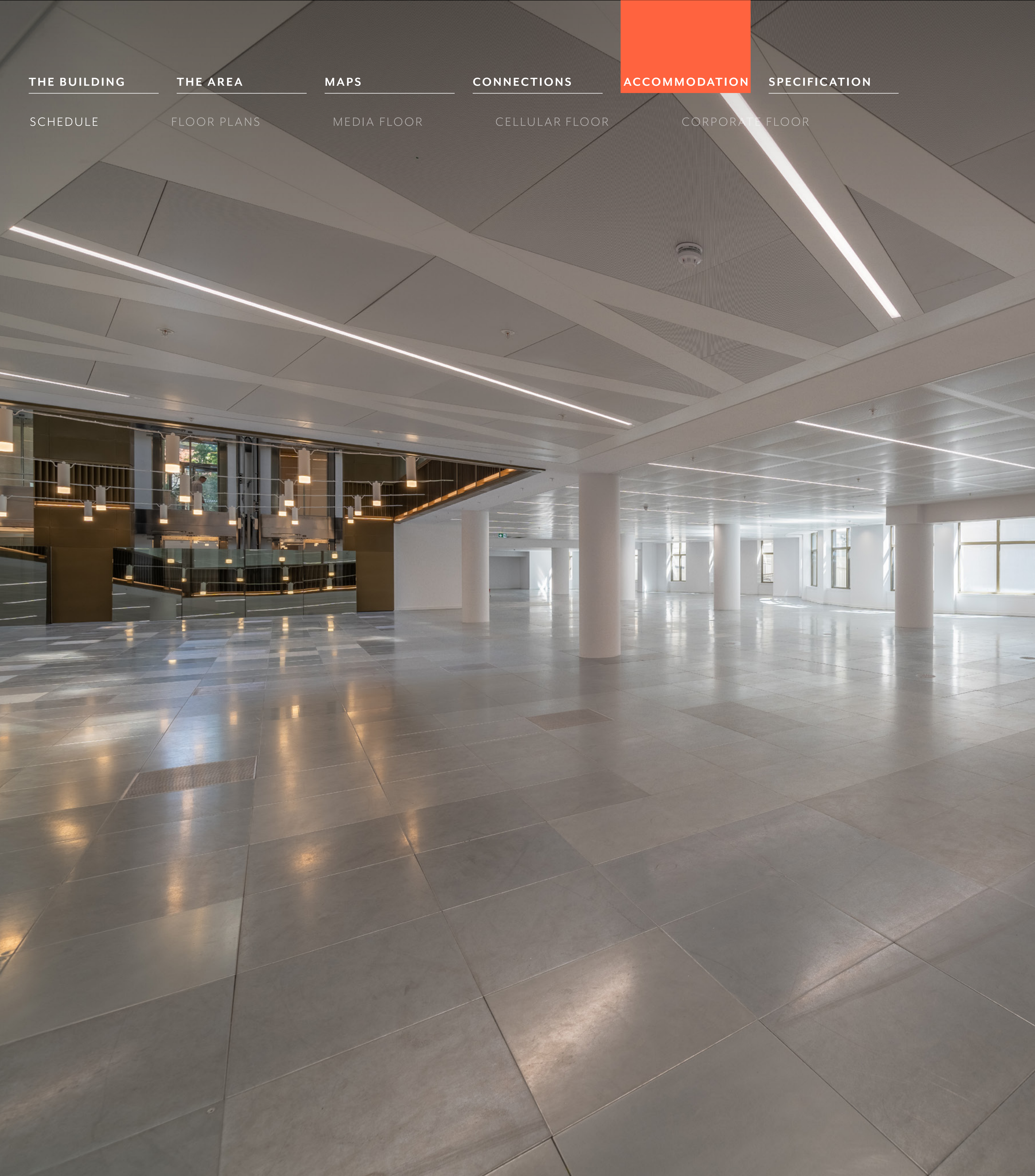
- Bakerloo
- Central
- Circle
- District
- Hammersmith & City
- Jubilee
- Metropolitan
- Northern
- Piccadilly
- Victoria
- Waterloo & City
- London Overground
- Docklands Light Railway
- Elizabeth Line
- ≡ TfL Rail
- ≡ National Rail



**ELIZABETH LINE**

The Elizabeth Line can be reached via a 5 minute walk to Farringdon and 6 minute walk to Moorgate / Liverpool Street.





## ACCOMMODATION SCHEDULE

180,000 SQ FT GRADE A OFFICES  
TRANSFORMED BY BUCKLEY GRAY YEOMAN.

FLOOR	AREA (SQ FT)	
Seventh	LET	→
Sixth	LET	→
Fifth	22,410	→
Fourth	22,227	→
Third	22,227	→
Second	22,271	→
First	LET	→
Ground Floor	LET	→
Lower Ground	24,165	→
Total	129,041	

[SHOW DETAIL](#)[HIDE DETAIL](#)

THE BUILDING

THE AREA

MAPS

CONNECTIONS

ACCOMMODATION

SPECIFICATION

CONTACT

two  
Gresham

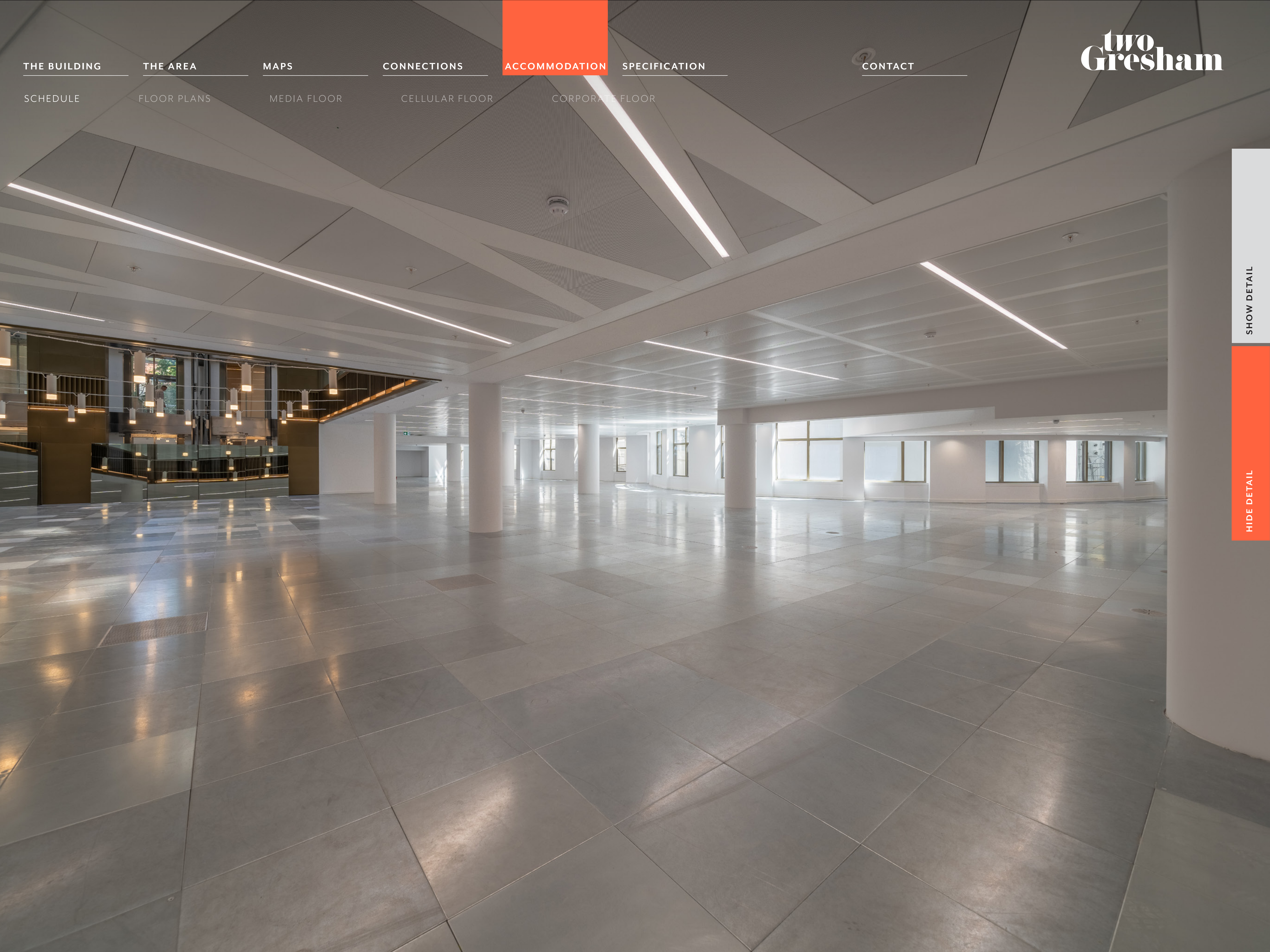
SCHEDULE

FLOOR PLANS

MEDIA FLOOR

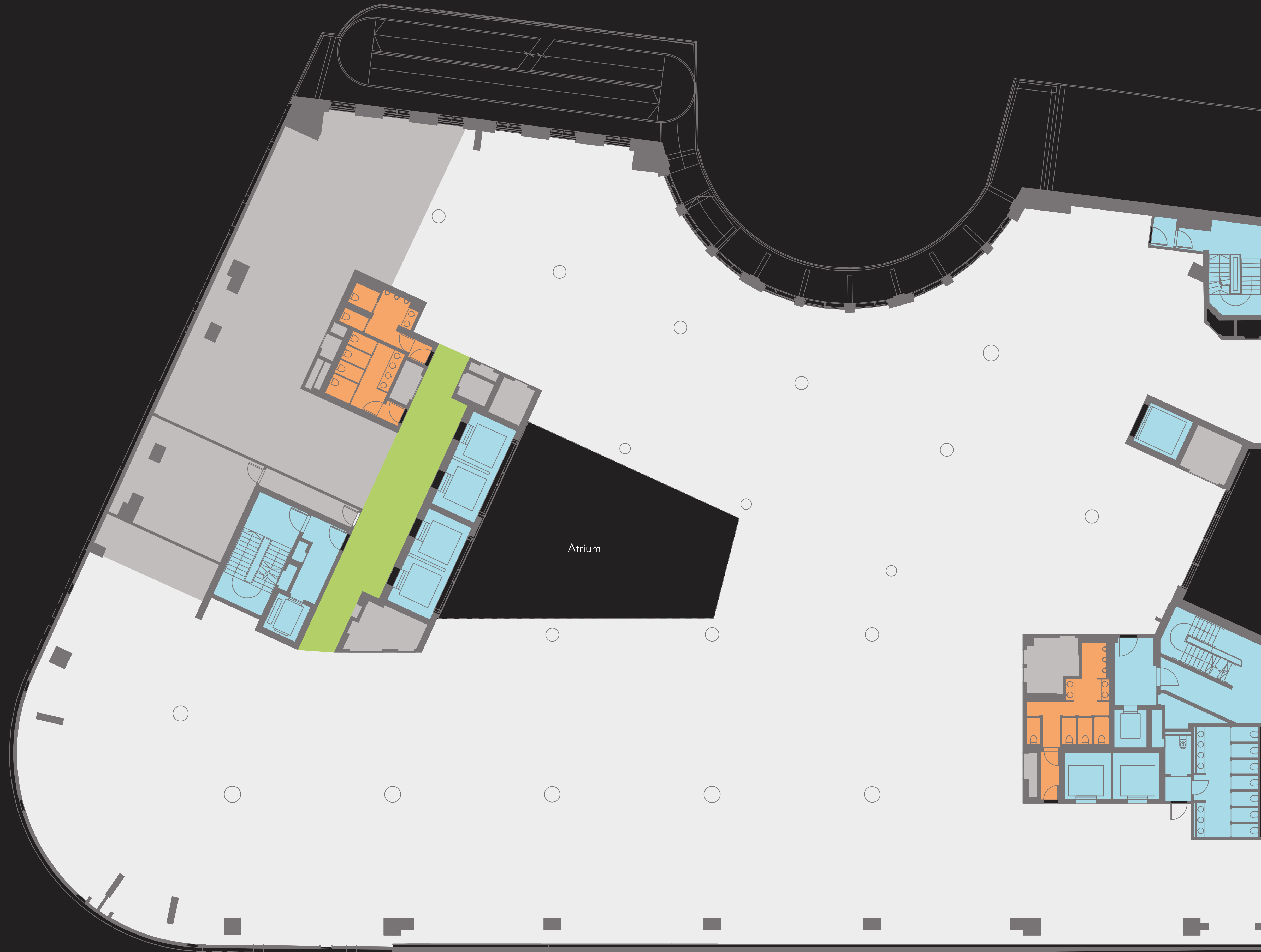
CELLULAR FLOOR

CORPORATE FLOOR



SHOW DETAIL

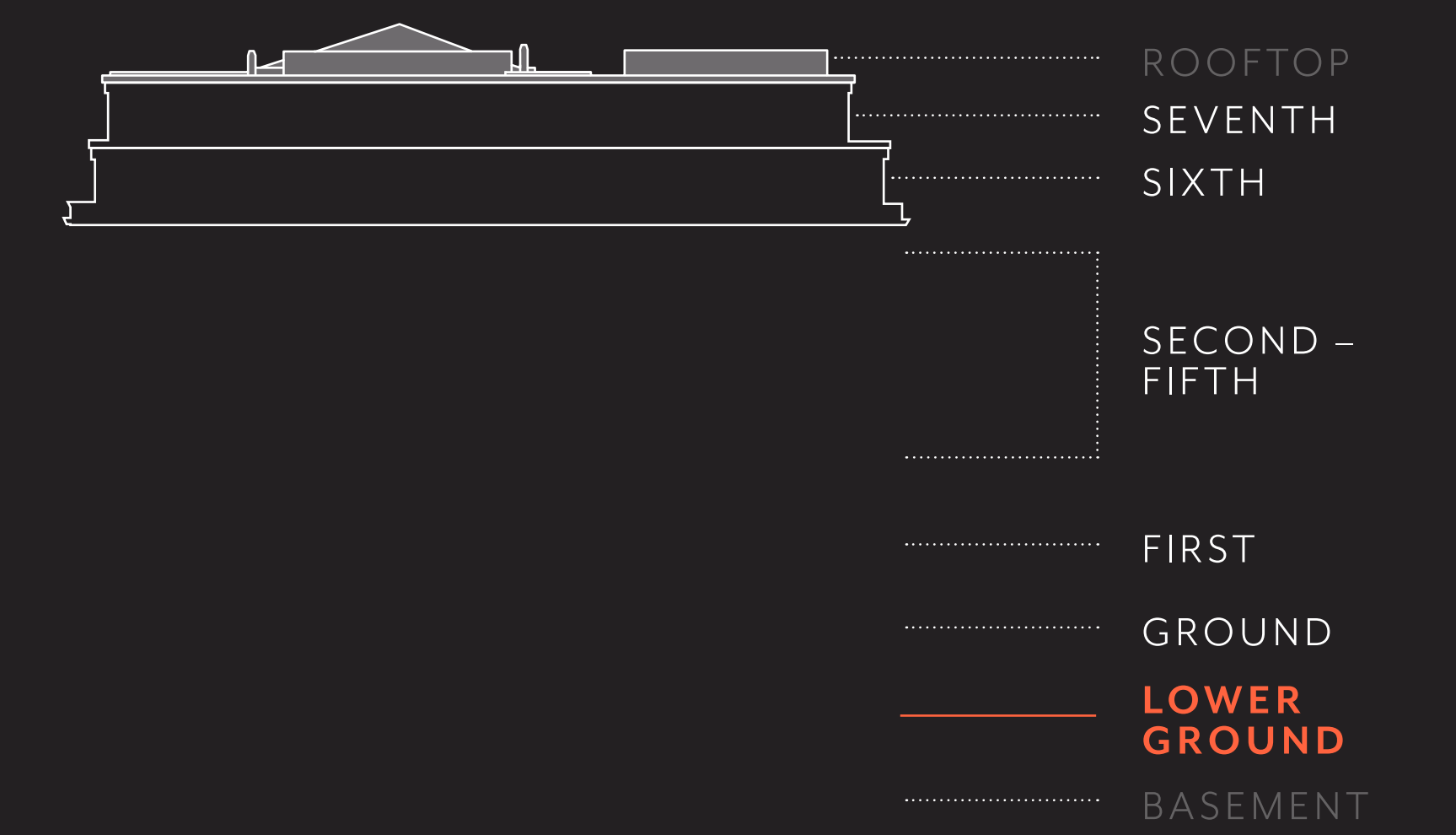
HIDE DETAIL



## Lower Ground

24,165 SQ FT  
2,245 SQ M

- Office
- WCs
- Stairwells / Lifts
- Lobby
- Private area





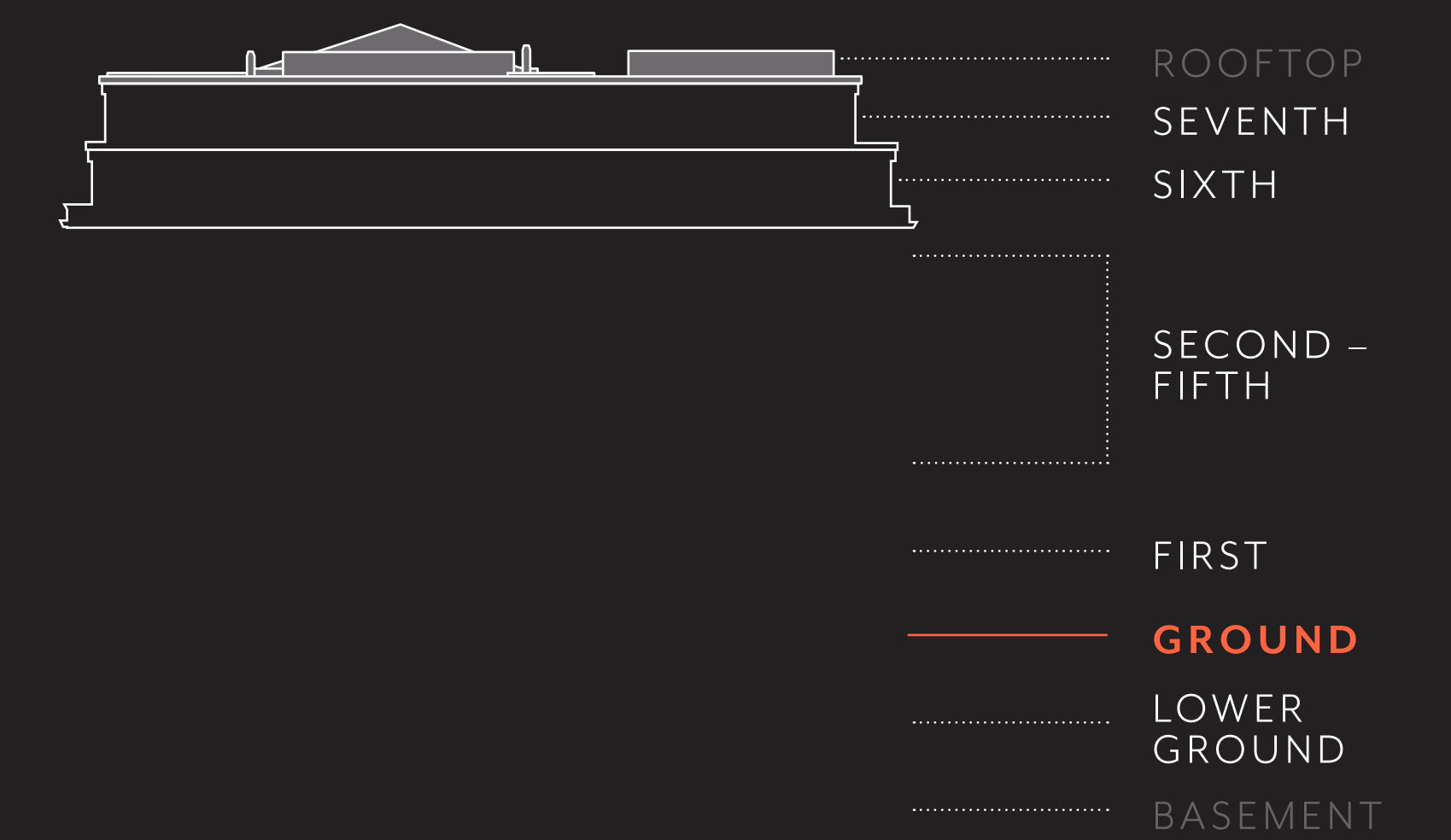
Ground

LET

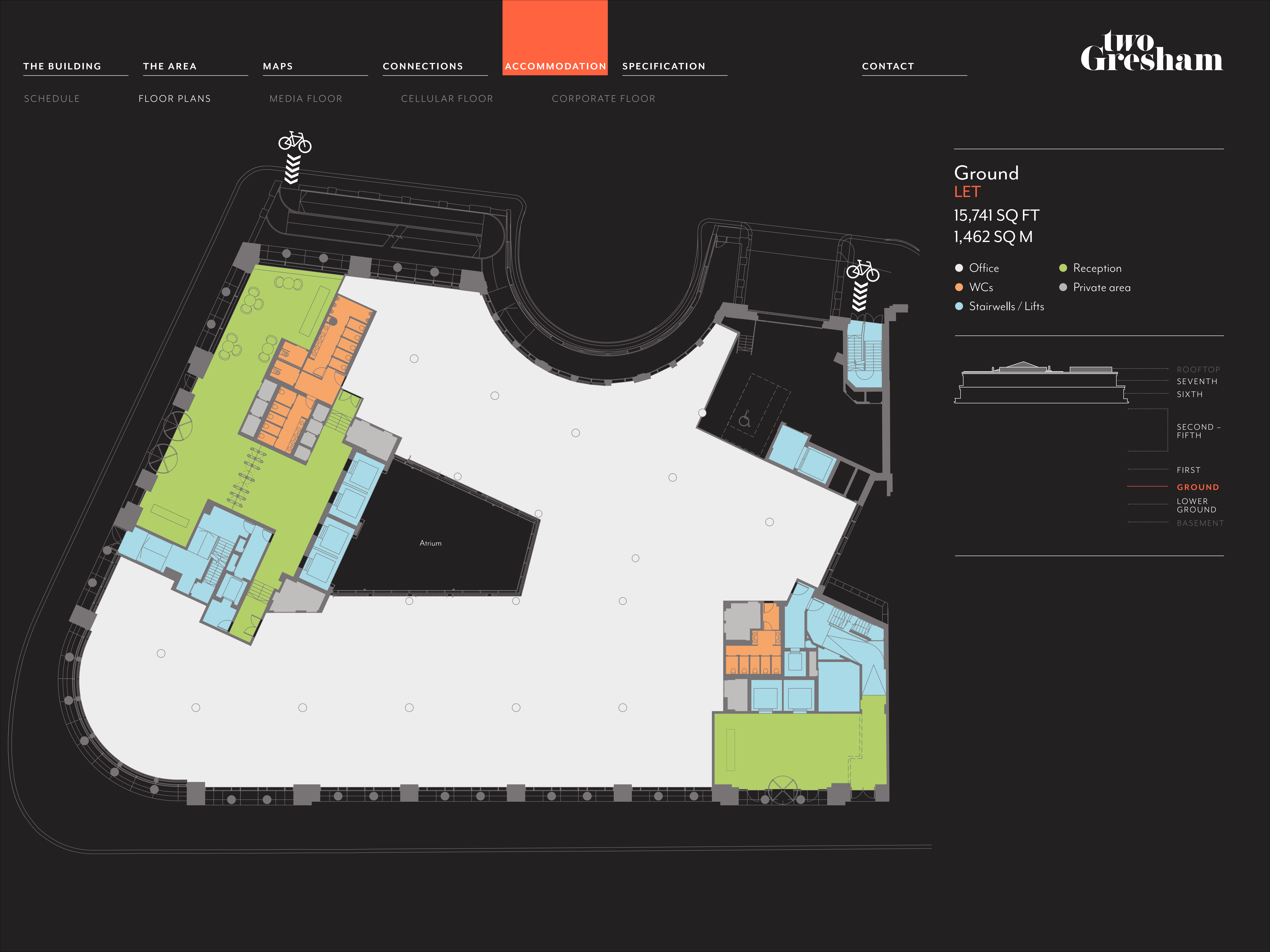
15,741 SQ FT

1,462 SQ M

- Office
- Reception
- WCs
- Private area
- Stairwells / Lifts



Atrium



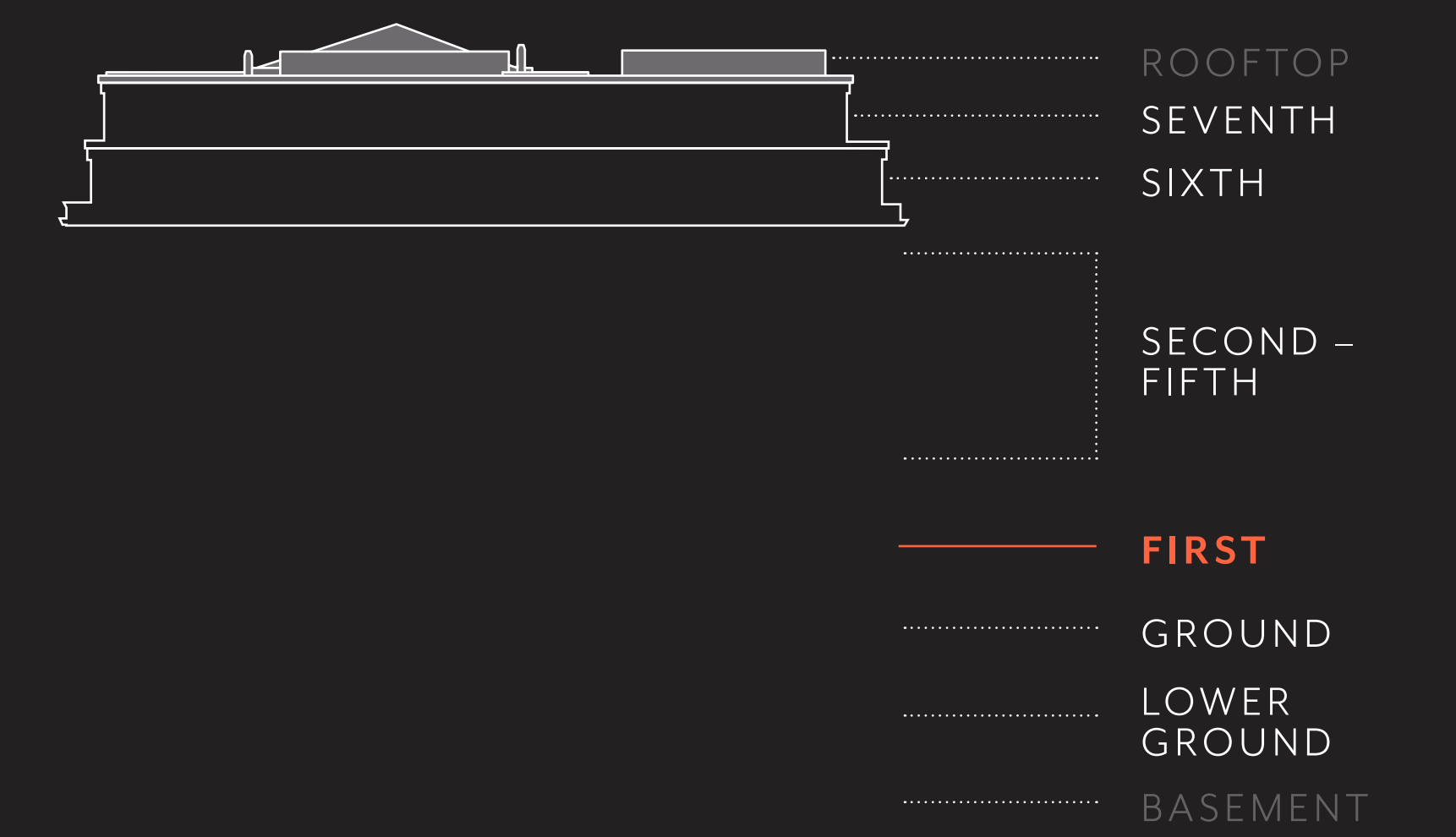




First  
LET

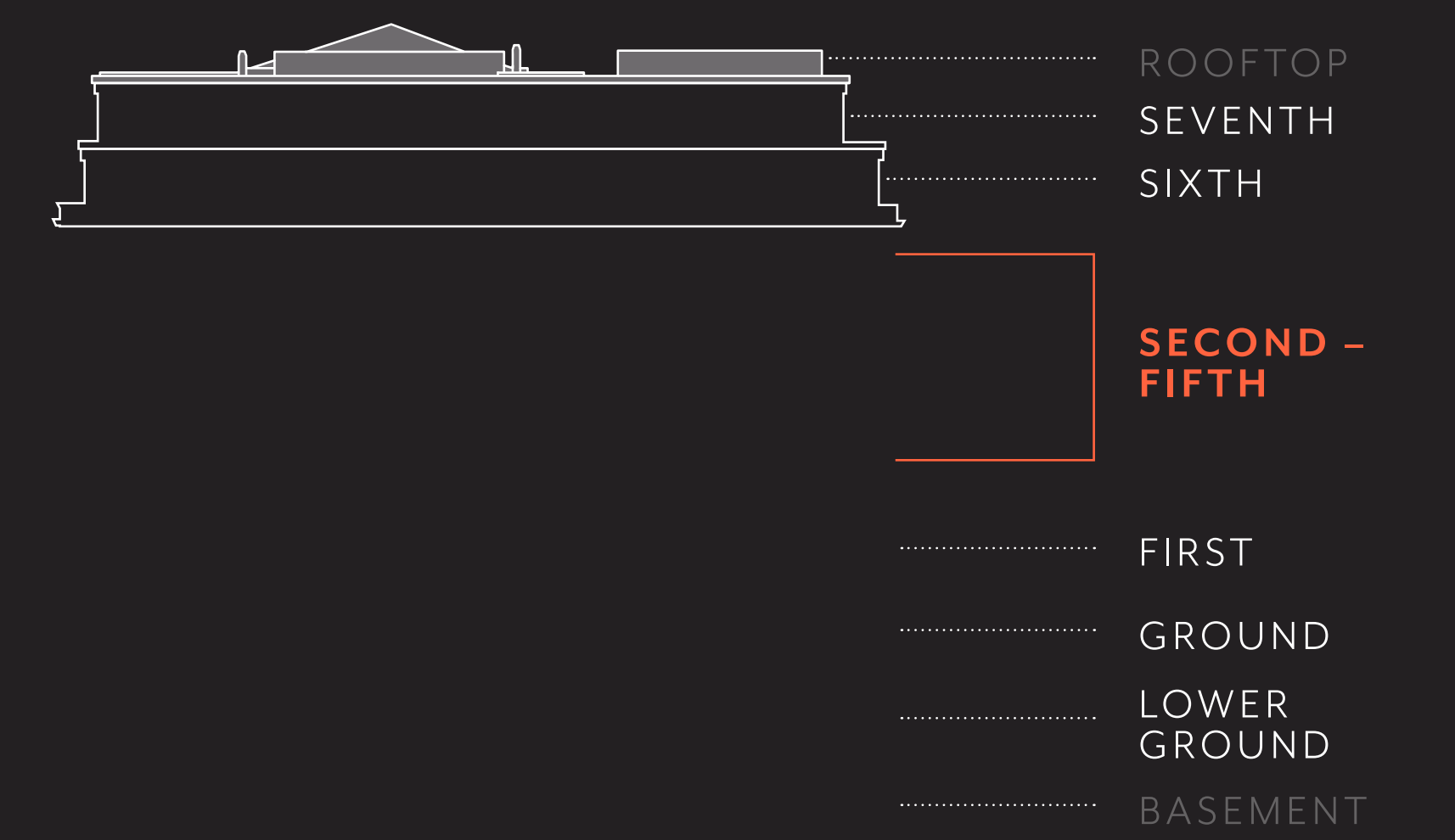
19,859 SQ FT  
1,844 SQ M

- Office
- Private area
- WCs
- Stairwells / Lifts



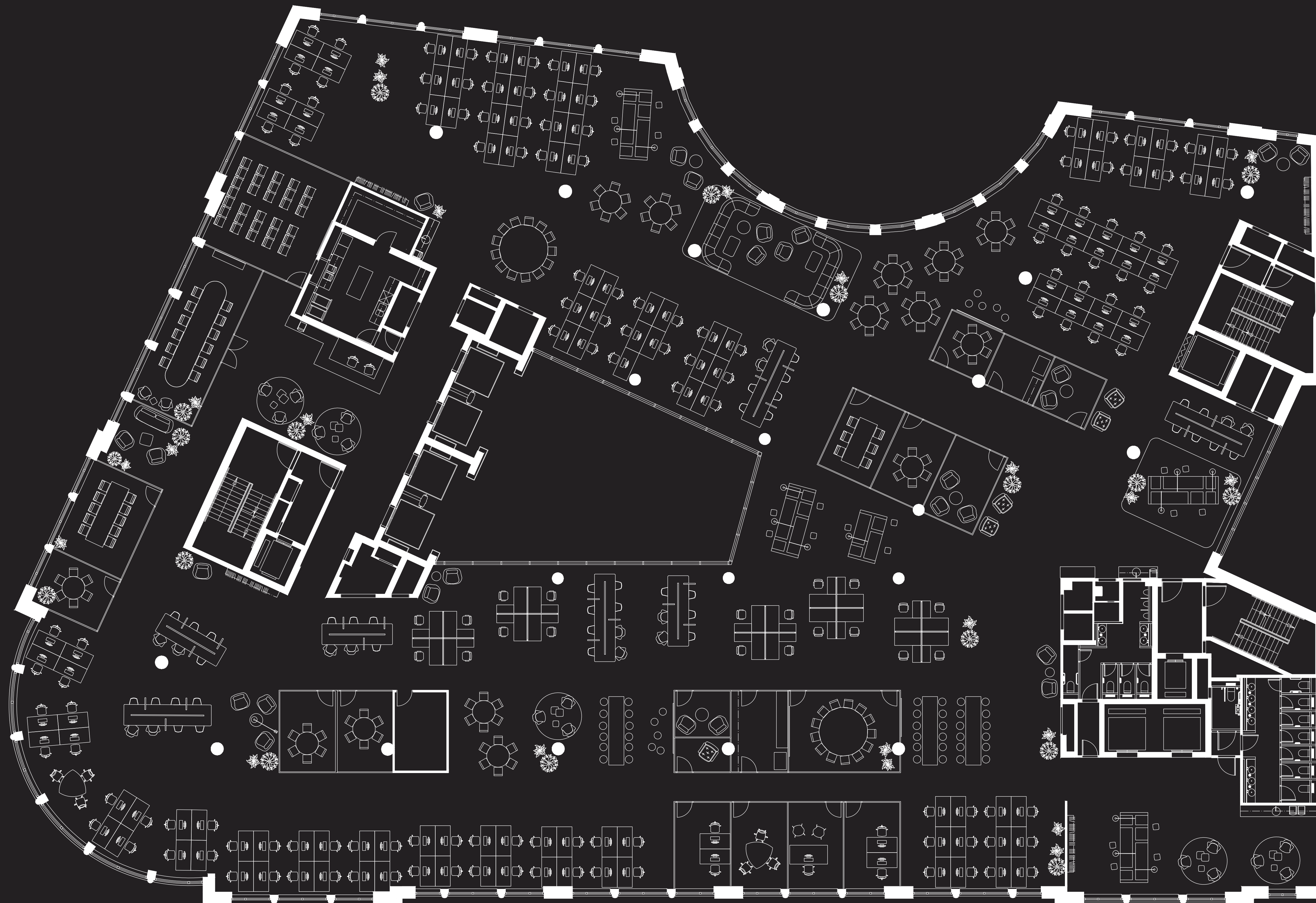
## Second – Fifth

- Office
- Private area
- WCs
- Stairwells / Lifts



## Media Floor

Fixed Desks: 176  
Occupational Density: 1:12 sq m

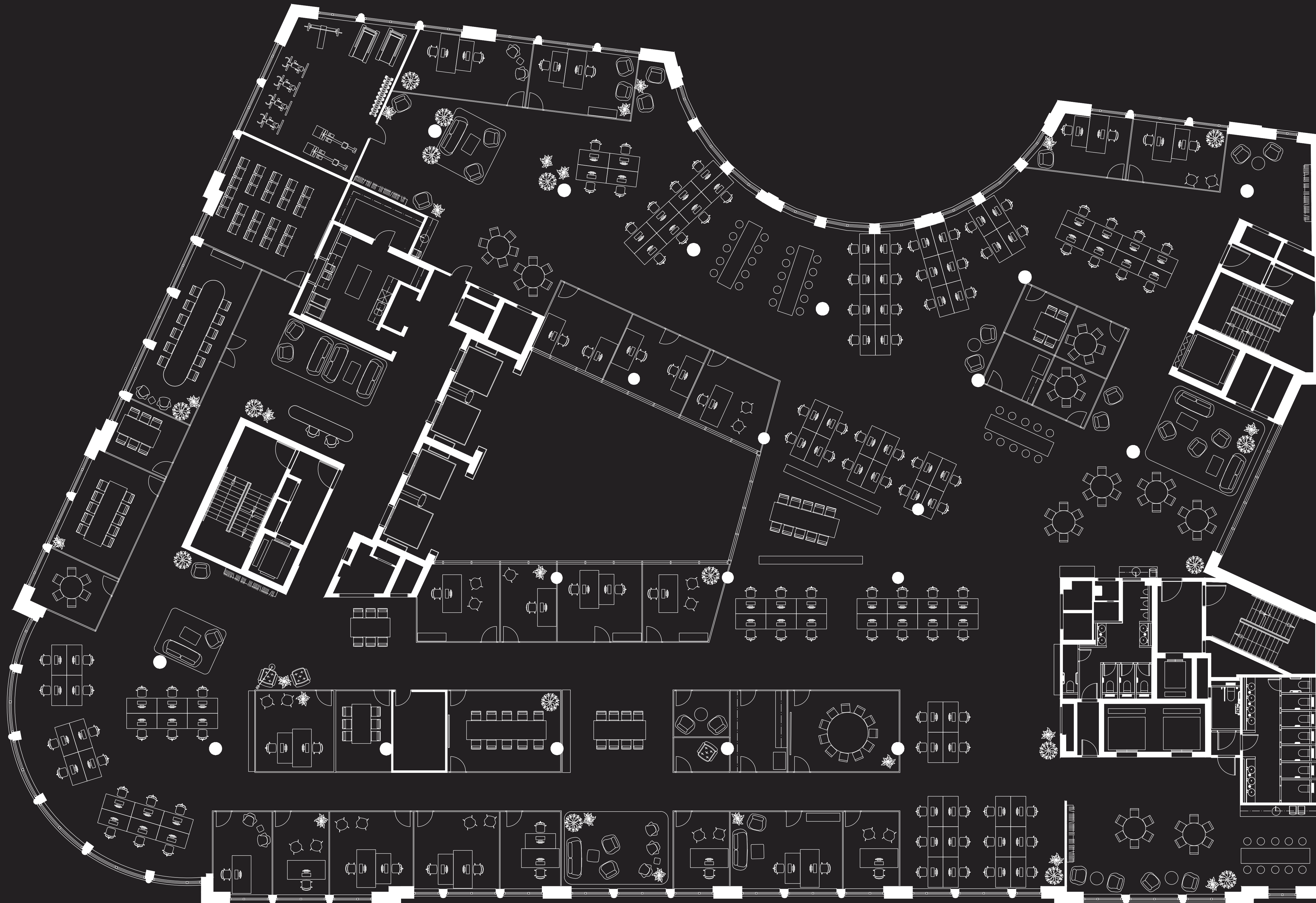




## Cellular Floor

Fixed Desks: 130

Occupational Density: 1:16 sq m

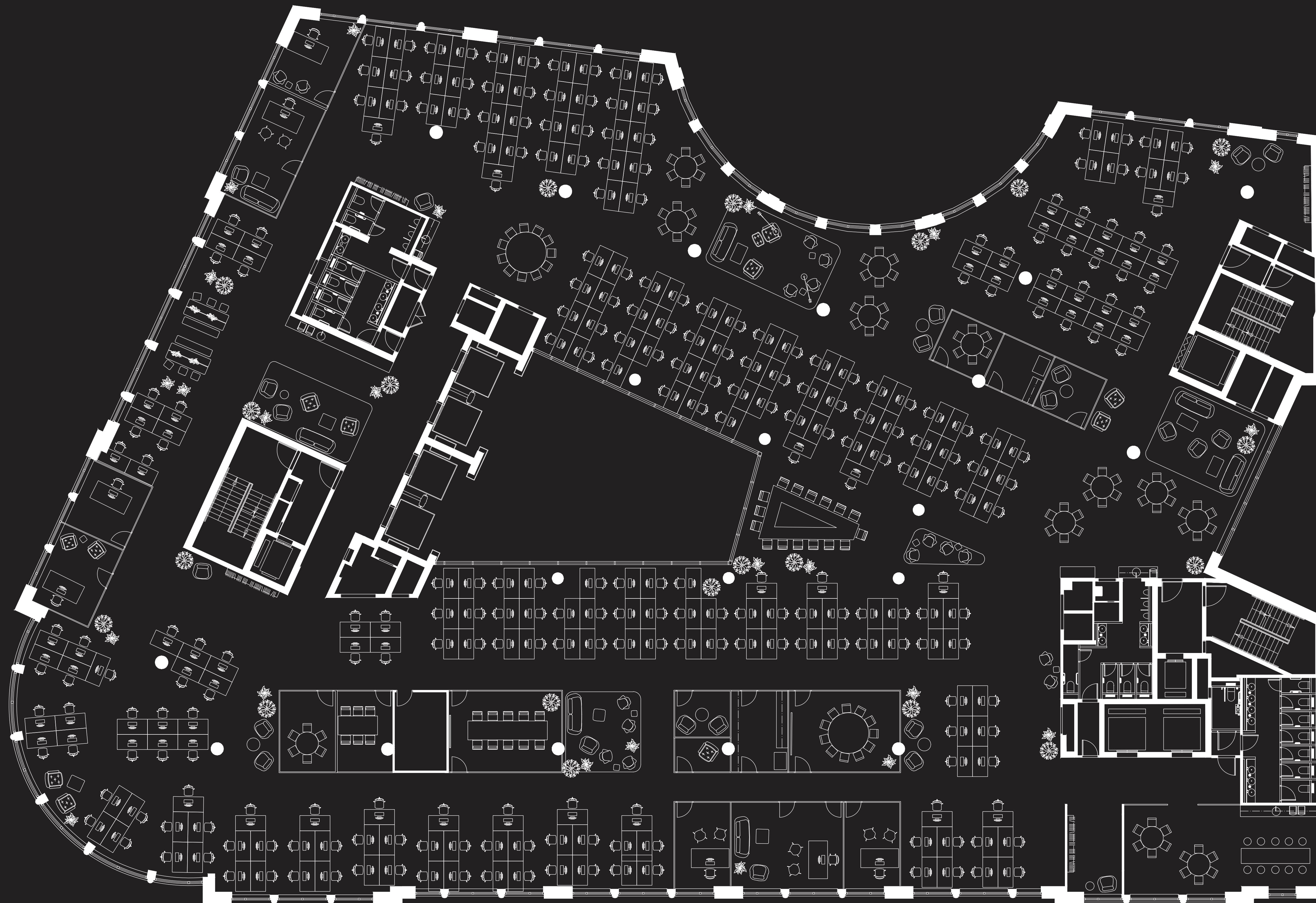




## Corporate Floor

Fixed Desks: 259

Occupational Density: 1:8 sq m







## SPECIFICATION

HIGH QUALITY ROBUST SPECIFICATION TO CATER TO THE DEMANDS OF MODERN OCCUPIERS

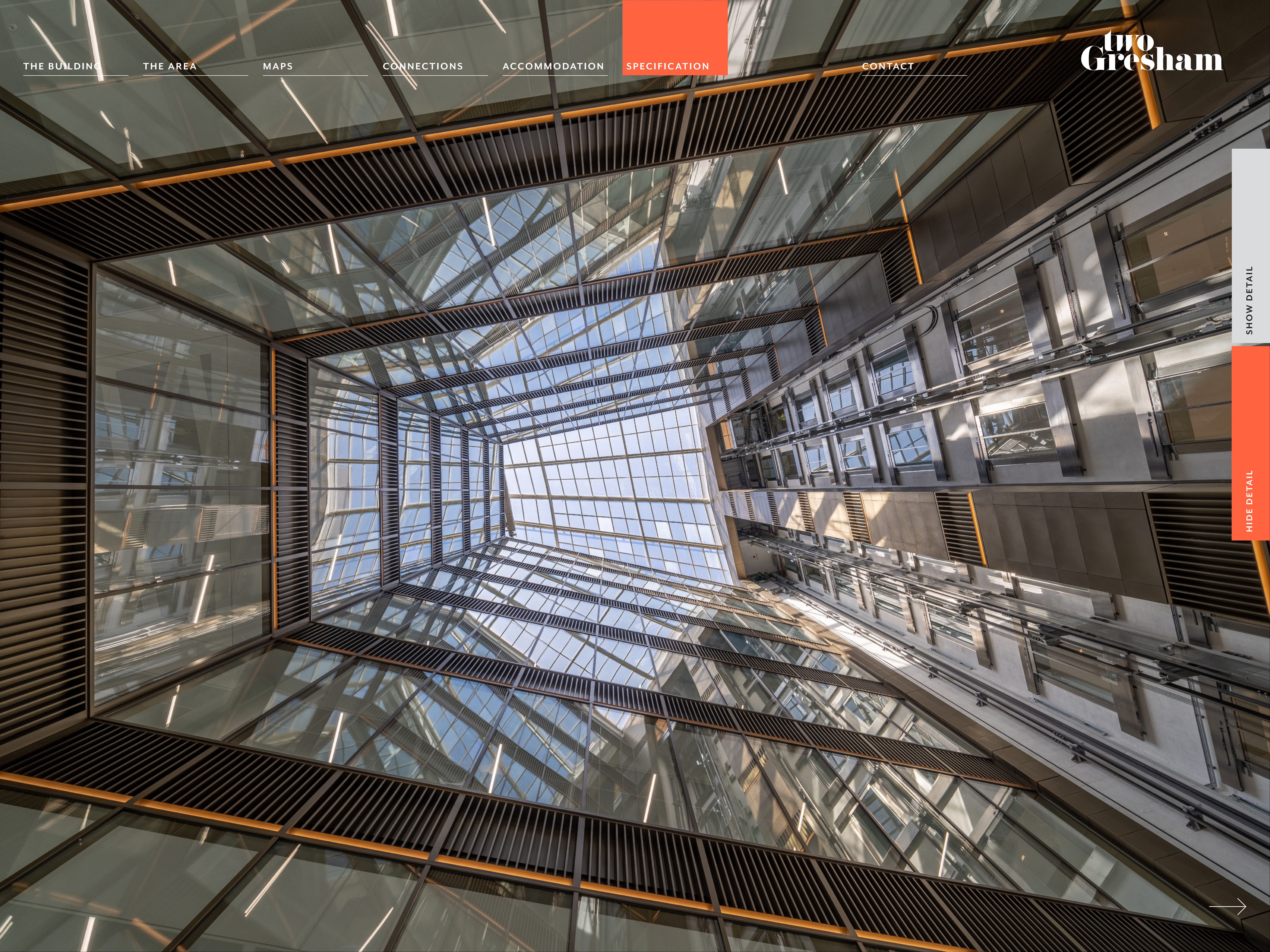
### BUILDING

- 180,000 sq ft prominent corner building
- 4,000 sq ft best-in-class communal roof terrace and gardens with panoramic views
- Two extensively remodelled entrances (Gresham Street and St Martin's Le Grand)
- Ground floor café and breakout area
- New cycle ramp and high class end-of-journey facilities with 280 bicycle spaces and lockers
- Six new 26 person passenger lifts
- Exceptional transport links to Underground, Crossrail and Mainline services

### OFFICE

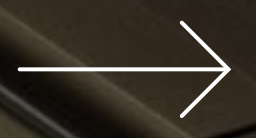
- Occupational density of 1:8 sq m
- Floor-to-ceiling height 2.70–3.22m (Levels LG–5)
- Central atrium providing superb natural light
- New four pipe fan coil air conditioning
- Raised floors (300mm overall)
- BREEAM Excellent, EPC B and Wiredscore Platinum





SHOW DETAIL

HIDE DETAIL



“By retaining much of the existing building, Two Gresham performs significantly better from a whole life carbon perspective than even the most ambitious industry new build benchmarks”.

- NDY (Project Sustainability Consultants)

### WHOLE LIFE CARBON – THE REAL STORY

Norman Disney Young has carried out high level sensitivity analysis at the end of the construction to compare Two Gresham to current whole life cycle industry benchmarks for new built offices.

Even adopting cautious energy consumption assumptions for Two Gresham, the conclusion is striking – **the whole life carbon at Two Gresham is expected to be lower** than that of a well performing new built office benchmark until the end-of-life plant replacement cycle, well beyond the normal lease term for a modern City building.

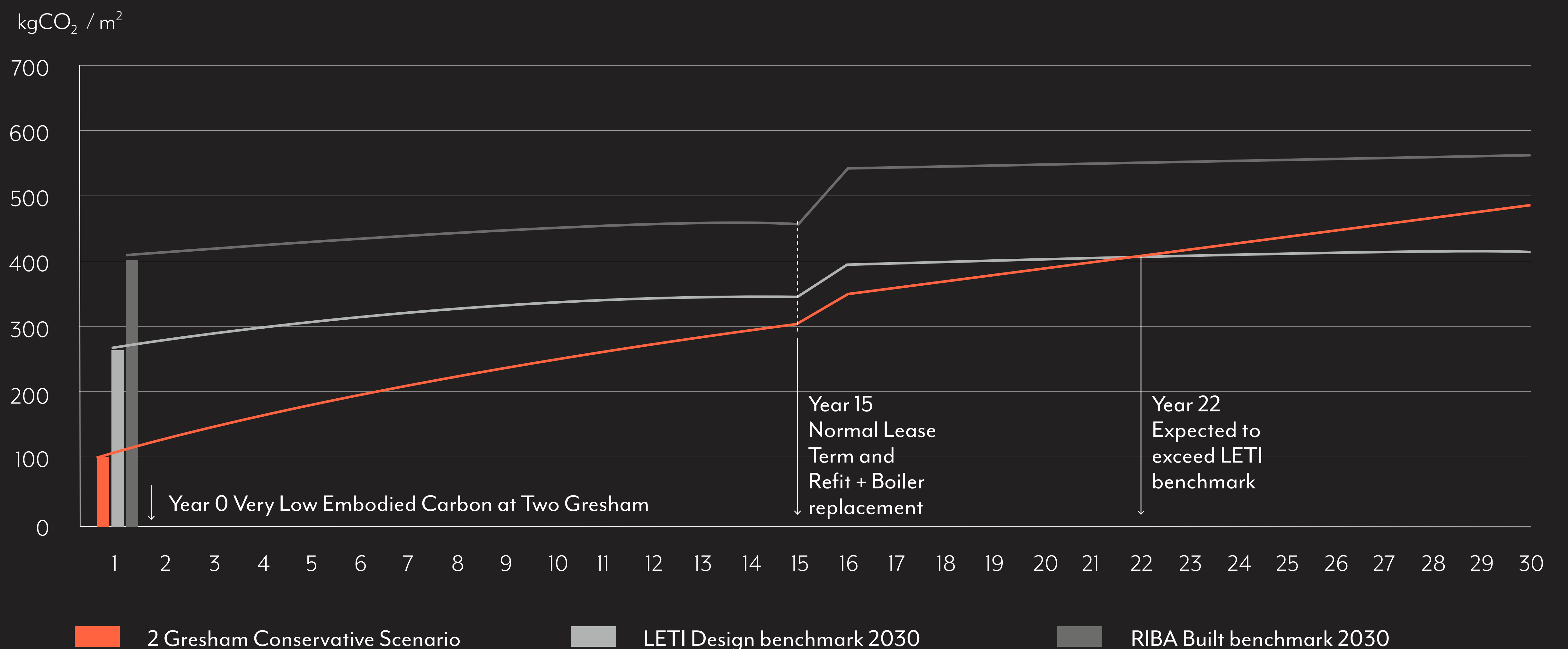
### RE-USE WITHOUT COMPROMISE

The existing structure and envelope at Two Gresham was retained to **maximise embodied carbon savings without compromising on the high quality specification.**

Enormous embodied carbon savings are achieved by retaining the main elements of the building instead of demolishing and providing a new office building. The table on the right shows the calculated embodied carbon over the life cycle (A-C) at Two Gresham (in kgCO<sub>2</sub> per m<sup>2</sup>) versus the LETI and RIBA 2030 Benchmarks for new office buildings.



TWO GRESHAM HAS ACHIEVED A BREEAM “EXCELLENT” CERTIFICATION AND HAS AN **EPC RATING OF B.**



# GET IN TOUCH

## **SIMON CROTTY**

+44 (0) 207 852 4230  
+44 (0) 7826 947 267  
[Simon.Crotty@jll.com](mailto:Simon.Crotty@jll.com)

## **FREDDIE MACGREGOR**

+44 (0) 207 318 7856  
+44 (0) 7872 107 539  
[Freddie.MacGregor@jll.com](mailto:Freddie.MacGregor@jll.com)

## **CLAIRE ALLEN**

+44 (0) 207 852 4540  
+44 (0) 7872 107 543  
[Clare.Allen@jll.com](mailto:Clare.Allen@jll.com)



## **TIM PLUMBE**

+44(0) 203 296 2005  
+44(0) 7768 146280  
[tim.plumbe@cushwake.com](mailto:tim.plumbe@cushwake.com)

## **TOM FAYERS**

+44 (0) 203 296 4226  
+44 (0) 7973 821 247  
[tom.fayers@cushwake.com](mailto:tom.fayers@cushwake.com)

## **HOLLY HAMER**

+44 (0) 203 296 3942  
+44 (0) 7471 725112  
[holly.hamer@cushwake.com](mailto:holly.hamer@cushwake.com)



[TWOGRESHAM.COM](http://TWOGRESHAM.COM)